



Phase 6 Design Guidelines



"Phase 6" Design Guidelines

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EXECUTIVE SUMMARY

This document outlines the design guidelines for Copperwood, a comprehensively planned community in West Edmonton.

These guidelines may be altered, amended or varied by the Vendor, The Grange South West Property Corporation, at its sole and absolute discretion and without prior notice.

The Vendor, The Grange South West Property Corporation, the Design Consultant, their servants, agents, contractors, appointees, shall not be held responsible or liable for the accuracy, enforcement or compliance with the Design Guidelines to any owner or purchaser within the subdivision.

Each Purchaser must inspect the condition of the local improvements installed by the Vendor, including but not limited to curbs, gutters, sidewalks, etc., on or around the lot prior to commencement of construction in order to determine if any of these local improvements are damaged. Written notice of any damages must be submitted to the Vendor prior to purchase of lot, failing which, costs for repairing damages for same shall become the sole responsibility of the Purchaser of the lot.

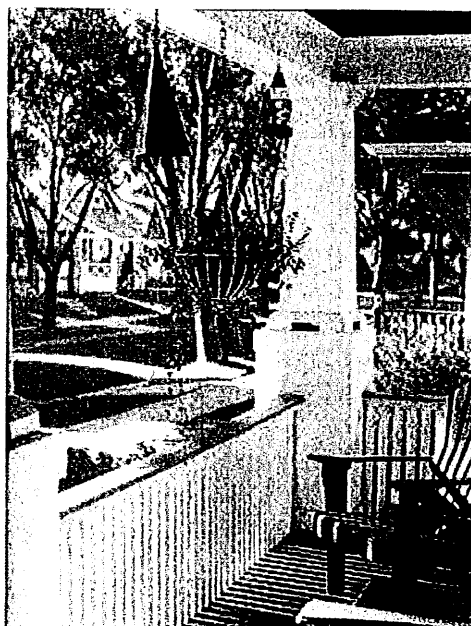
Restrictive covenant(s) (copy/copies attached) are registered on the title of each lot.

Formal standards for development will be those as established in the City of Edmonton Land Use Bylaw. Conformity with these guidelines does not supersede the required approval process of the City of Edmonton.

2.0 HOUSE DESIGN

2.1 Introduction

1. As a sub-community of "The Hamptons" Copperwood will be distinguished by its design in the "Craftsman" tradition, a characteristic style of the first decades of the Twentieth Century. This style, while allowing for great variety, has a number of hallmark features that will be required on each home. In general terms, the "Craftsman" style is a North-American adaptation of the Arts and Crafts movement.



2. The elements listed below are common to the Arts and Crafts movement.
 - a. attention to detail
 - b. dominating roof lines
 - c. pronounced porch or veranda and trim work
 - d. generous windows
 - e. decoratively expressed "construction" elements – columns, beams, brackets
 - f. "grounded" massing

2.2 Streetscape

1. Houses will have the consistency of apparent volume. As such, house widths and sizes must relate logically and proportionately to the lot neighbouring houses. The massing of homes should be consistent with the area and neighbouring homes. Houses within the same street or cul-de-sac are to have a consistency of apparent volume; drastic variation in rooflines between adjacent homes shall be avoided.
2. The siting of homes should maximize lot widths, 90% minimum. All triple car garage plans shall be reviewed for compatibility by the designated consultant. At minimum all proposed triple car garages shall have articulation of the front wall planes along with appropriate roof line treatment. All side drive garage locations shall also be reviewed by the consultant for compatibility and may require additional landscaping elements to buffer to adjacent properties.
3. CORNER LOTS - Homes on corner lots must be designed to suit these high visibility locations. Appropriate wall heights, window placement and trim/grill detail treatments will be consistent with the front elevation, including the use of feature materials such as stone. Two storey models must incorporate features to diminish mass at the flanking corner elevations. Such elements may include setback of the upper floor, dormers, multiple siding finishes, bellybands (Base and middle trim), wrap-around verandas and/or trellises. Corner lot elevations will be revised on an individual basis to ensure appropriate detail and massing.
4. Similar elevations of style, design, may not be duplicated within two lots or directly across the street (XOX). Colour schemes cannot be repeated within three lots or directly across the street (XOAX) Repetitive elevations of design and/or colour will be reviewed on an individual basis to ensure an interesting streetscape.

5. The first house to be submitted will be reviewed first. Subsequent applications with similar style and colour will be reviewed as received and may either be rejected or elevation design and treatment may require modifications. Rejection or modifications accordingly, will be at the builder's/purchaser's expense.

2.3 Roof Lines and Massing

1. The dominating roof characteristic of this style is best achieved through both the steepness of the pitch and by bringing the eave line down to one-storey level, incorporating the upper storey within the roof and/or using dormers.
2. For the primary roof masses, the minimum roof pitch is to be 6:12, allowing for shallower pitches on dormers, shed dormers and veranda / porch roofs. The minimum fascia size required is 8" inches. It is strongly encouraged that a wider fascia be provided (10" inches) on the front gable ends.

2.4 Porches and Verandas

1. Each home must incorporate a low covered front entry porch or veranda, using dominant column elements designed similar to examples below. Emphasis, attention to detail, with careful proportioning, is the key to a successful design.

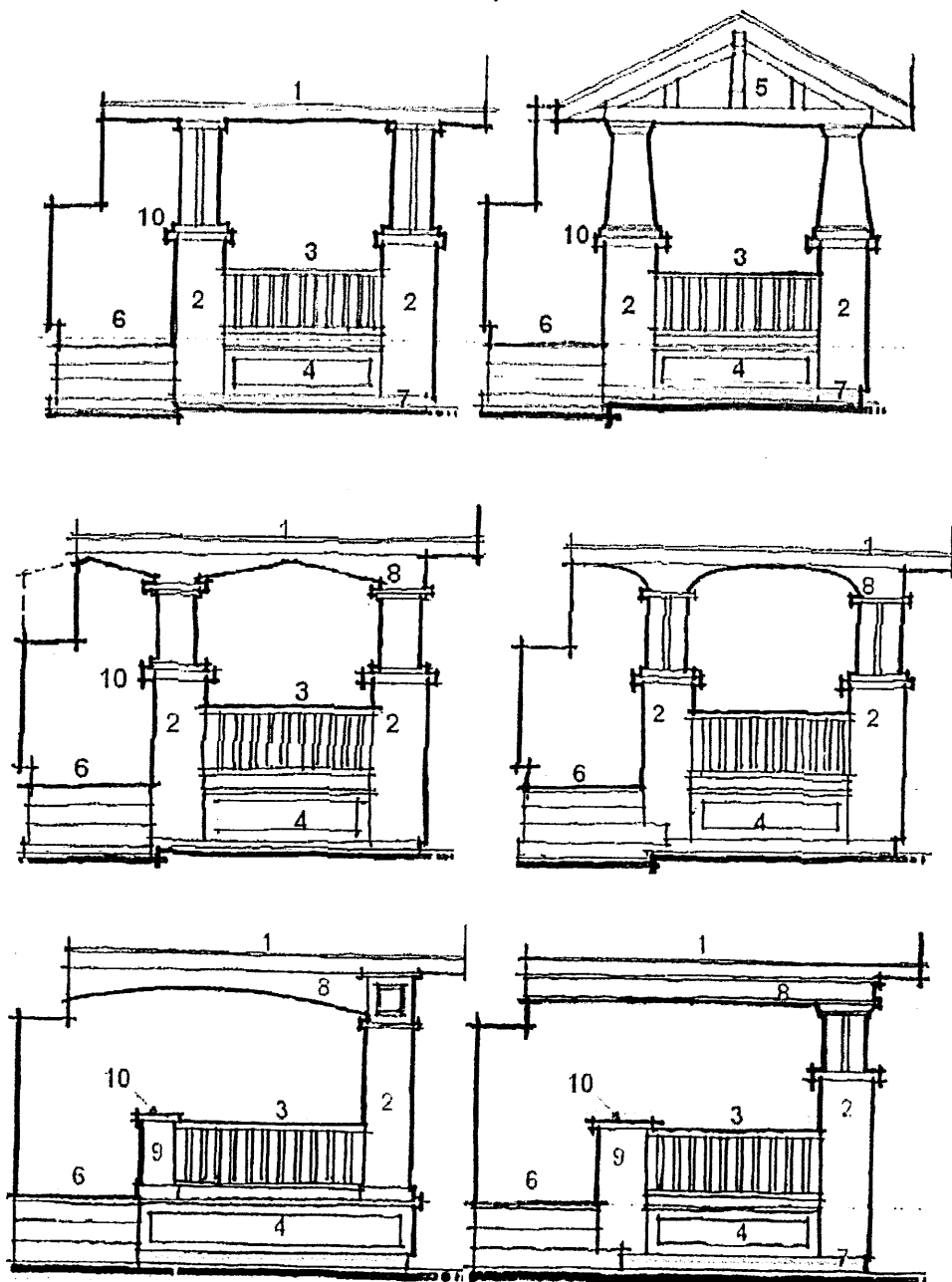


2. Porch landings must be a maximum of 30" inches above finish grade or maximum four (4) risers / steps. Additional risers as required by grades on the lots may be considered by the consultant if they are placed within the walkway and are buffered by landscaping elements to porch or verandah.
3. Porch/Veranda Designs. See below for examples. Additional options will be considered.

"Phase 6" Design Guidelines

Legend:

- | | | | |
|----|------------------|-----|--------------------------------------|
| 1. | Roof Overhang | 6. | Stairs |
| 2. | Column Base | 7. | Exposed Concrete (6" inches maximum) |
| 3. | Guardrail | 8. | Header Detail |
| 4. | Veranda Base | 9. | Short Column |
| 5. | Gable w/ Bracket | 10. | Coping |



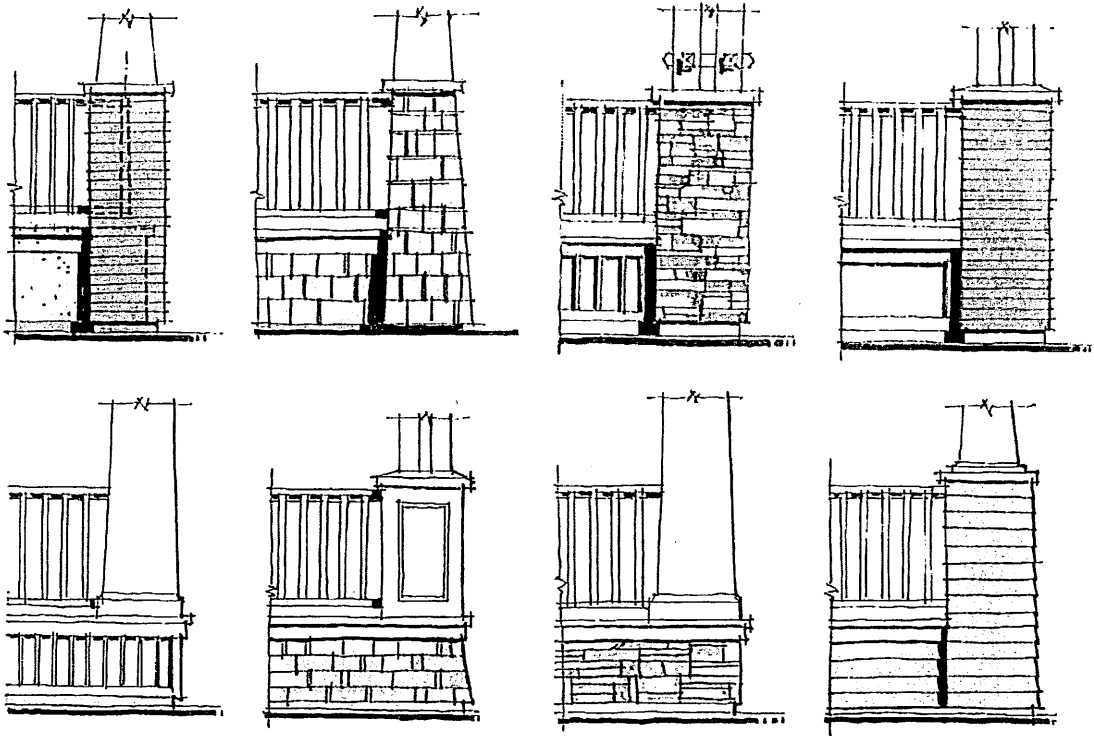
4. Column Size Requirements

Porches/verandas must be designed to accommodate a minimum of 24 x 24 inch column base. 18 x 18 inch column bases may be considered for homes on smaller Lots upon review of additional detail and specific home design criteria.

5. Porch/Veranda Base Materials:

See examples below. Porch/veranda not permitted to have more than 6" inches of visible concrete. Vertical faces on porch/veranda are not permitted to have visible concrete or exposed aggregate with the exception of the 6" inches.

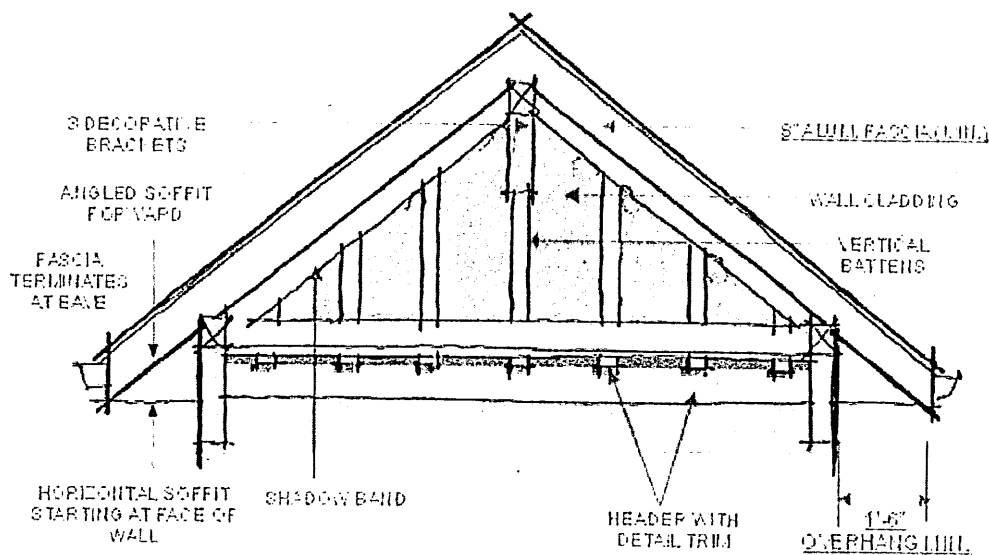
Examples of Porch/Veranda Base Materials:



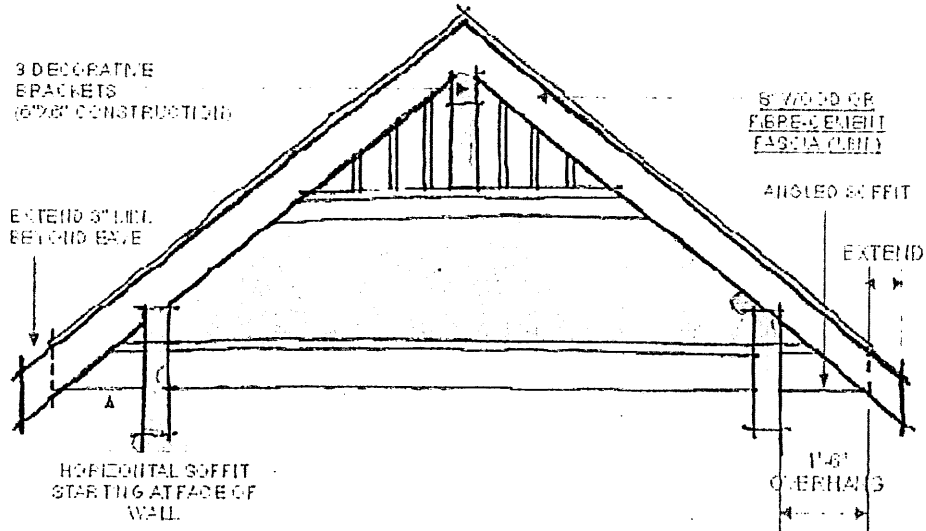
2.5 Gables, Eaves and Fascias

1. Changes in cladding material and/or pattern, and vertical battens are required on all gables. Front or high visibility elevations must incorporate structural or decorative brackets, outriggers, beams etc. and be given distinct surface treatment, separating them from the wall cladding below. Brackets and beam finish shall have natural wood or solid stain finish matching trim.
2. Colour of fascia, soffit and rainware shall match trim colour.
3. Overhangs for the predominant rooflines are to be minimum 18" inches, and one third less for dormers. Roof overhangs of 12" inches minimum are permitted for all cantilever conditions.
4. Exposed eave rafters are a character design treatment. Decorative or sculpted extension of the gable fascia at the front eave is strongly recommended if using Smart Trim or fibre-cement products. Refer to Fascia and Gable examples below.

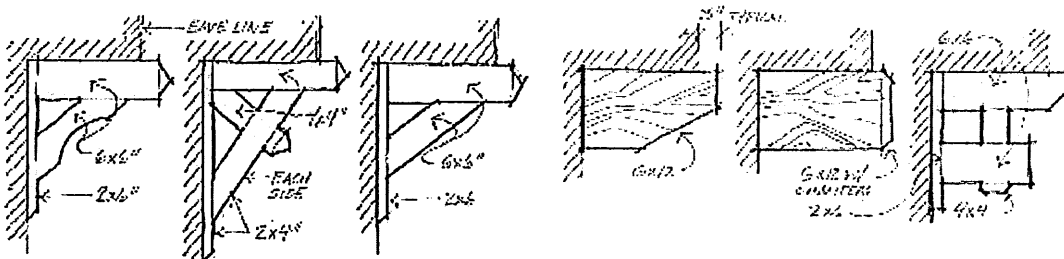
A) Gables with Prefinished Aluminum Fascia



B) Gables with Wood or Fibre-Cement Fascia



C) Decorative Brackets, Outriggers and Beams

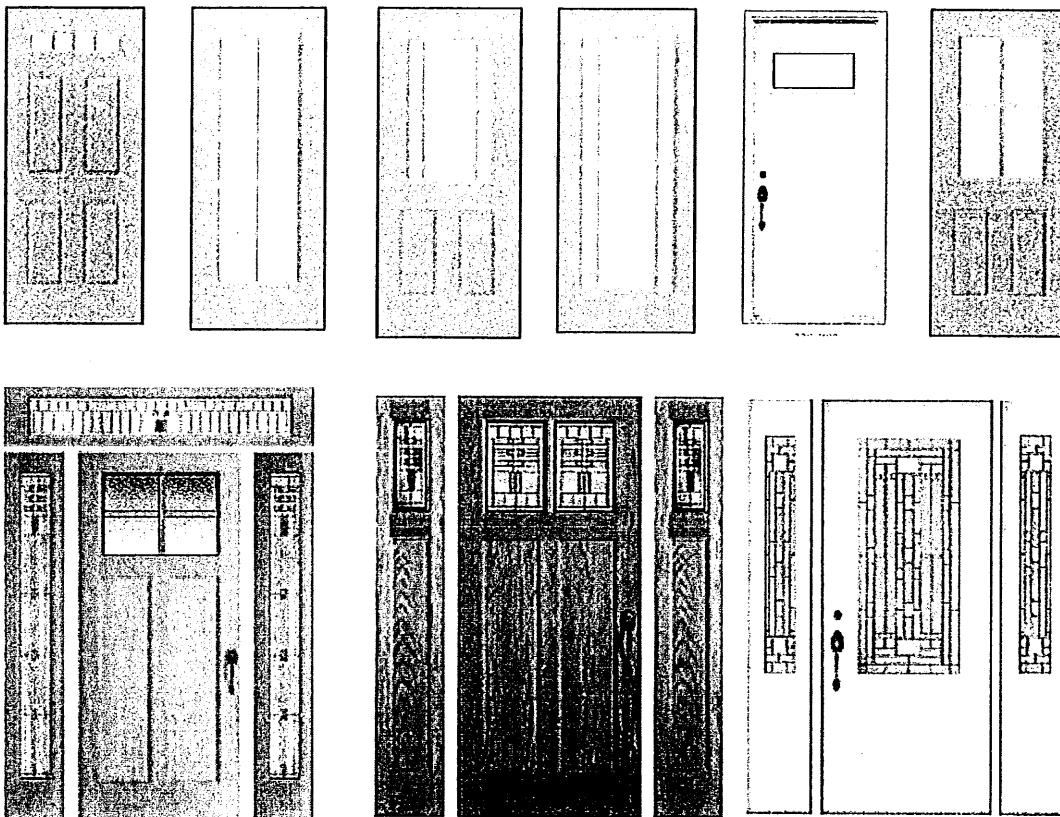


2.6 Doors

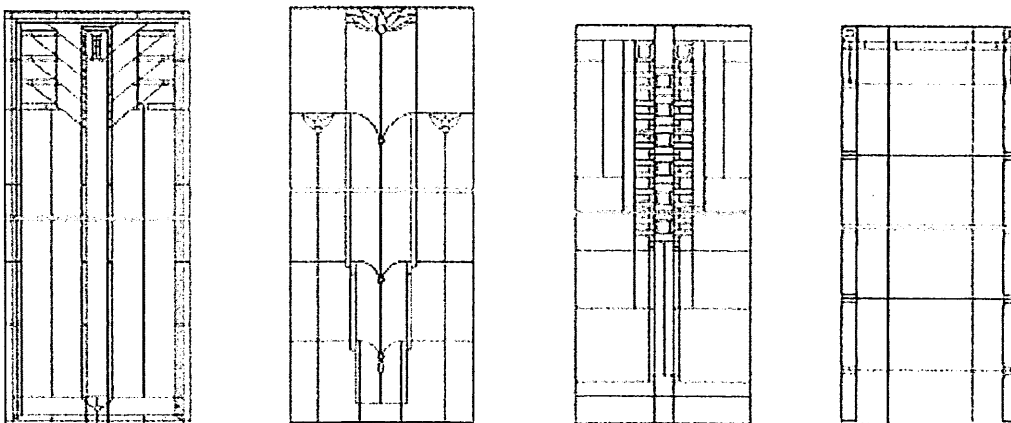
1. The following consistent treatment of the front door on every home will be a trademark-unifying feature of this community.
2. The main entry door must be visible from the front sidewalk.
3. Door width must be a minimum of 3 feet.
4. The design of the door must be approved by the Architectural Consultant. Sidelight and/or transom assemblies are encouraged, and are to be compatible in design with the door.



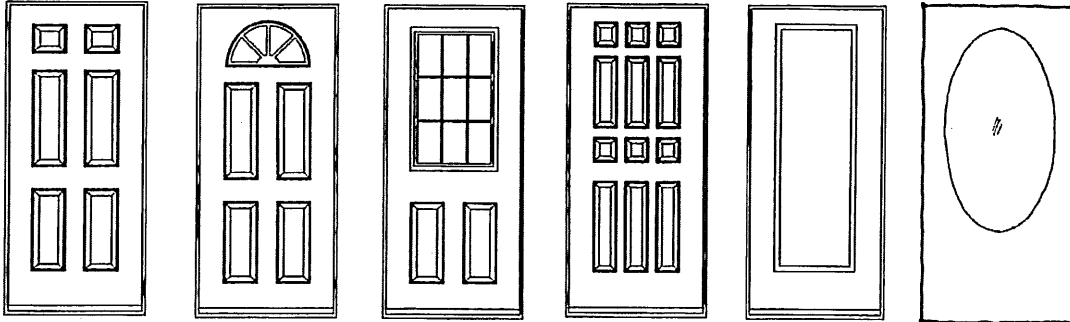
5. The finish of the door is to be preferably of solid wood with a clear finish OR alternatively the door must be painted. It is recommended that the door be painted in an accent colour.
6. Examples of acceptable door designs:



Additional Art Glass Panel Designs:



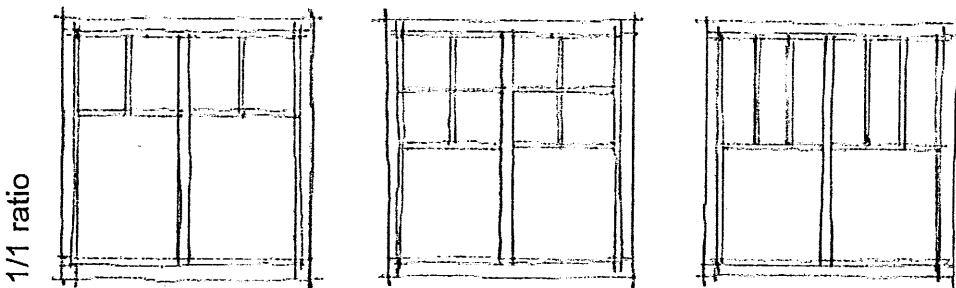
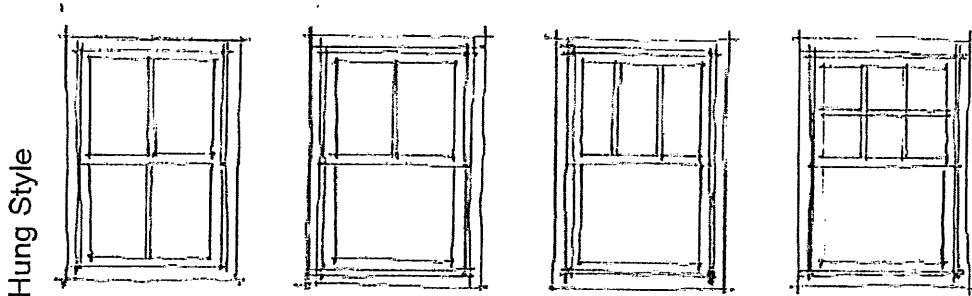
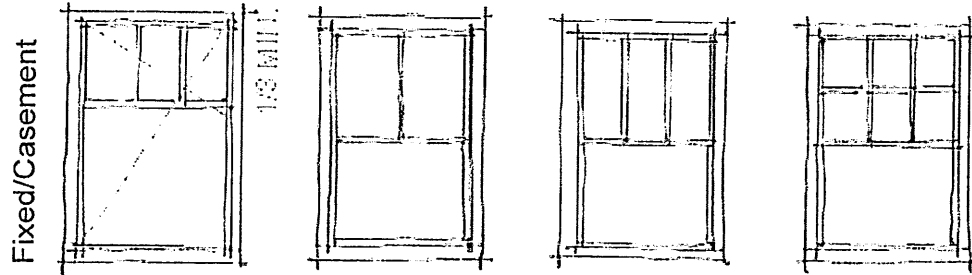
7. Unacceptable door designs (these door styles will not be permitted):



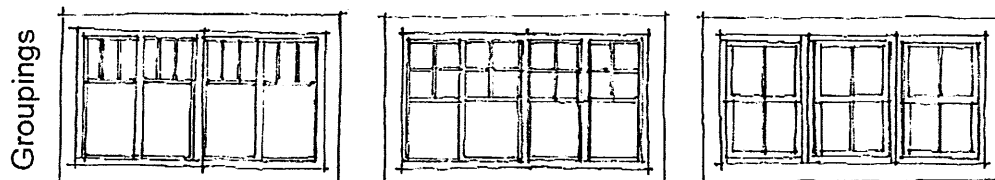
2.7 Windows:

1. Generally, predominant windows must be in groupings of 2, 3, or 4 sash units which are vertical in proportion (minimum 3h to 2w ratio), and which are divided by a mullion of at least 2" inches (aside from the width of the frame or sash itself). Single sash units can be included in subordinate quantities, and if on the front or high visibility elevations, they must match the groupings' vertical dimension. Square or horizontally proportioned sash units can be used with discretion as an accent ("button") feature or as transoms. For example, a hallmark feature of this style is a pair of horizontally proportioned transoms on either side of the fireplace chimney.
2. Grill patterns must be incorporated on the front or high visibility elevations, and be applied only on the upper or lower portion of the sash, and not the full height. Pattern must be applied consistently throughout all elevations where they occur. Grills must have a MINIMUM width of 5/8" inch. Grill colour must match trim colour or must be white. Brass, pewter, black or zinc mutton bars will not be permitted.
3. SDL Grills: Simulated Divider Lites (SDL) applied to exterior/interior windows are highly recommended over 5/8" inch grills due to historical accuracy and effect.

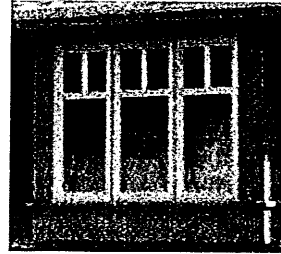
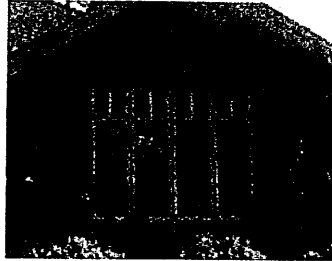
4. Acceptable Window designs / Grill Proportions:



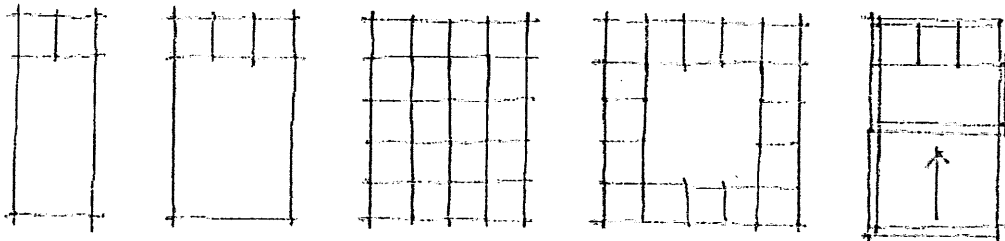
Maximum of 3 panes (grill rectangles) between vertical mullions. Each of the above suggestions can be used in succession to create the following Groupings.



SDL Grills



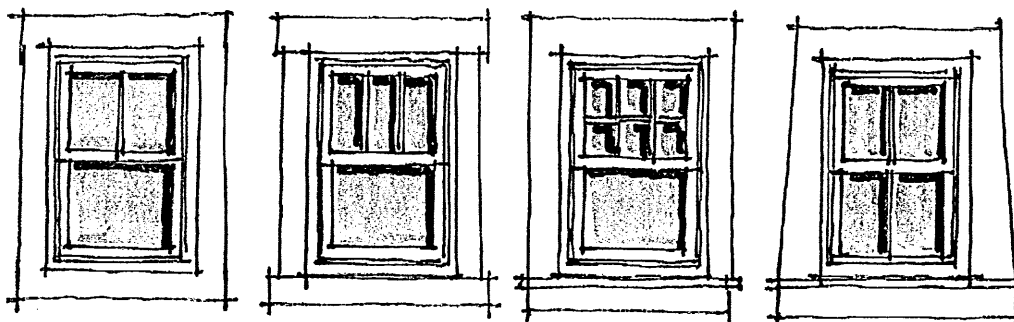
5. Unacceptable Window and Grill Design/Proportions:



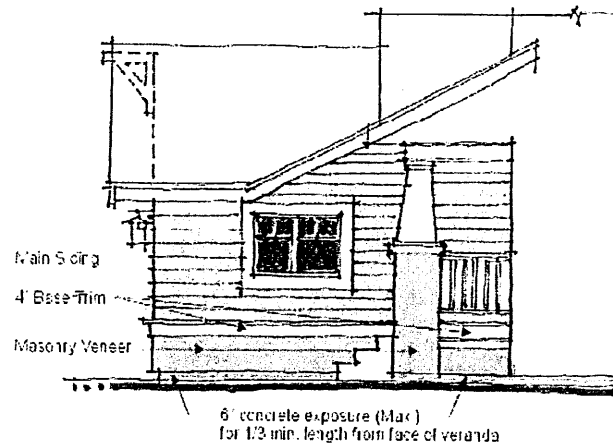
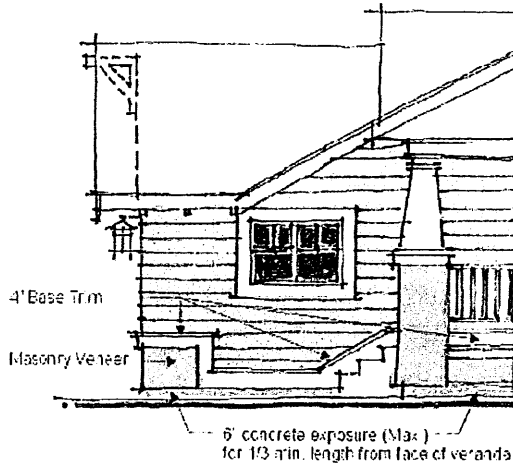
2.8 Trim

1. Window/Door Trim must be a minimum of 4" inches around all windows and doors (including garage doors) on all front and high-visibility locations. Approved trim material are pre-finished aluminum with wood grain finish OR Fibre-Cement finishes OR approved alternatives. Fibre-Cement or equivalent finishes are highly encouraged for aesthetic purposes. Alternate trim materials will be considered (e.g. PVC with wood grain finish) if appropriate to detail and as approved by the consultant.

Trim examples can be expressed as follows:



2. Base Trim must be a minimum of 4" inches. Base Trim is required between siding and stone/brick veneer OR between siding and parging on all homes (includes bungalow, 1 ½ storey and 2 storey models). Base Trims are required on all elevations forward of the main entry door including the garage with a minimum 2'-0" (600mm) wrap-around. See sketches below.



3. Belly Band Trim must be a minimum of 6" inches. All two-storey and/or one and half storey homes with colour and/or material changes between floors must have a 6" inch bellyband that wraps around all sides of the house.
4. All trim with the exception of the Belly Band Trim (6" inches) is required to be a minimum of 4" inches.

2.9 Cladding Materials & Architectural Details

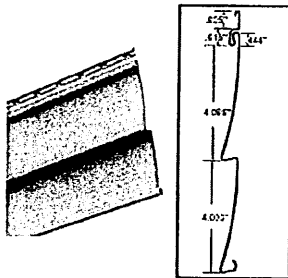
1. All roof stacks and chimneys are to be contained in a chase using the predominant cladding material OR feature cladding material (stone or brick, cedar shakes etc.). Roof stacks and chimneys should have the same trim detail as used on the front of the house.
2. All rainware, soffits, and fascias must match selected trim colour.
3. The height of exposed parging will be restricted to 6" inches above finished grade on all elevations forward of the main entry door including the garage with a minimum 2'-0" wrap around. All other remaining elevations cannot exceed 2'-0".

4. Acceptable cladding materials include:

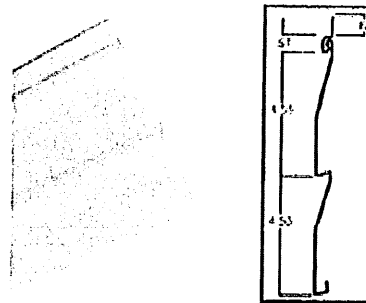
- Natural Stone
- Face Brick (Fired Clay)
- Manufactured Stone
- Brick Veneer
- Vinyl Siding - Horizontal, Board + Batten and Shingle Shakes

All horizontal vinyl siding must be Traditional/Clapboard profile, minimum exposure to be 3" inches and maximum to be 4.5" inches. Dutchlap/Designer profile will not be permitted. See sketches below.

Acceptable Profile:



Not Acceptable Profile:



- Solid Wood – Clapboard, Board + Batten, Shingle Shake. Finish to be either Natural, Stained or Painted.
 - Fibre-Cement Siding - Smooth or Wood texture (max. 6" inch exposure)
 - Crezone panels with Vertical Batten to be a minimum of 4" inches in width.
 - Synthetic Stucco (EIFS- Acrylic Stucco), if used in a flat trowel application.
 - The following conventional Stucco finish techniques are NOT permitted: Knock-down or "California" stucco or stepped trims or stepped banding or Corner "quoining".
5. Combinations of cladding materials on lower & upper elevation are encouraged. Suggested options are:

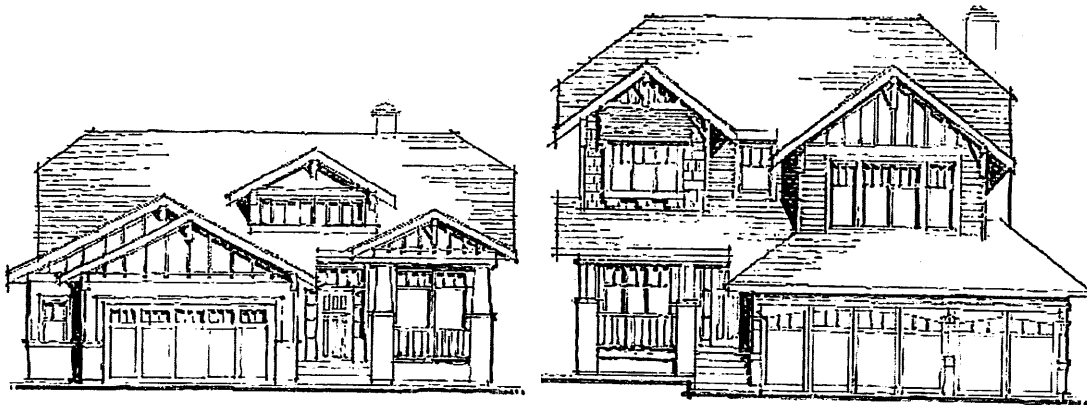
LOWER WALL

Horizontal siding
Acrylic Stucco
Horizontal siding
Shingle

UPPER WALL / GABLE

+ Vertical battens (4" inches minimum) with Stucco infill
+ Shingle
+ Board+Batten
+ Acrylic Stucco

6. Colour Palettes - The use of contrasting colours between cladding material and trim/fascia is mandatory. The consistent use of light coloured trim for window and door trim, soffit, fascia and rainware is required on all preceding applications to showcase traditional craftsman detailing against darker fields of main wall cladding, including shingle siding and stone/brick. The use of a third accent colour is recommended for entry and garage doors. Brick or stonework is to be quiet and even toned.
7. If brick or stone is used as wall cladding material, it must be a minimum of 3'-0" high, and must return on side elevations to an extent that is reasonably visible and no less than 2'-0".
8. All roof material is to be IKO Cambridge in the colour of NW Driftwood.
9. Sample prototypes of "Craftsman" styles for the following reasons as noted:

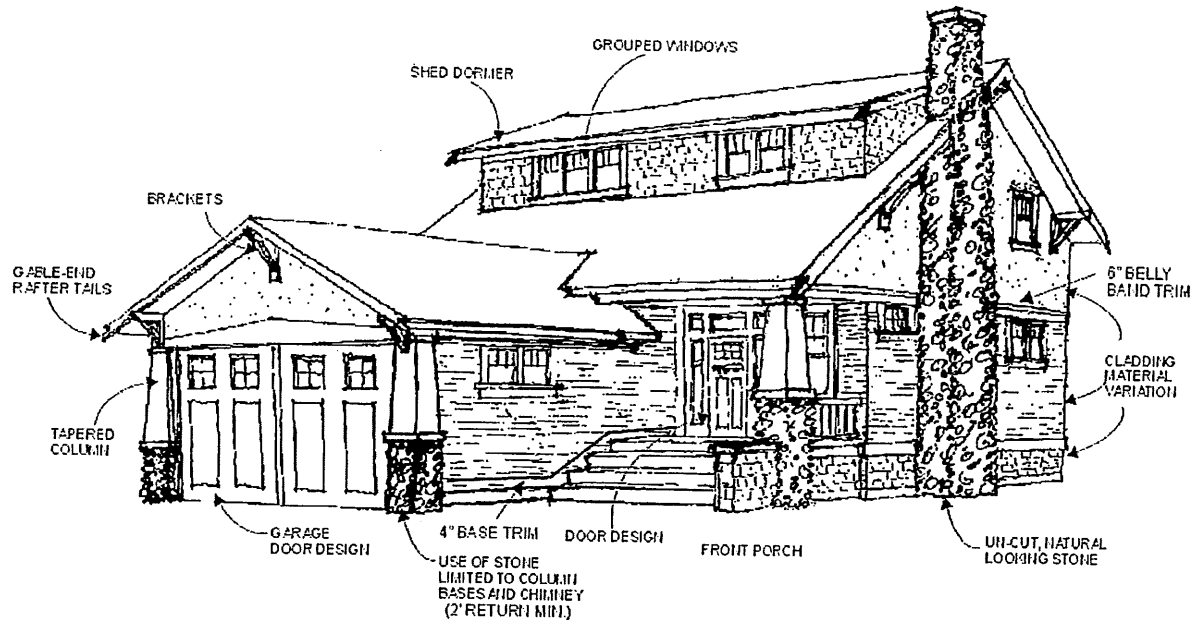


a. Bungalow Style:

- Sheltered front veranda
- Craftsman Doors
- Stout Columns w/ Stone Pedestals
- Decorative Gable Treatments
- Multiple Gables
- Dormers
- Abundant Windows
- Decorative Eave Brackets

b. 2 Storey Style:

- Sheltered front veranda w/ massive presence
- Craftsman Style Doors
- Large Dormers
- Multiple Cladding Materials
- Abundant Windows
- Decorative Eave Brackets
- Belly Band Trim



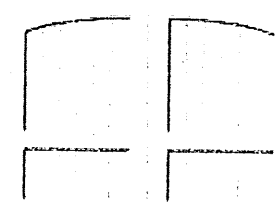
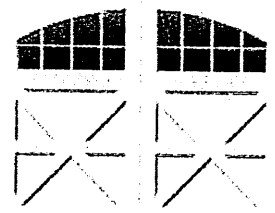
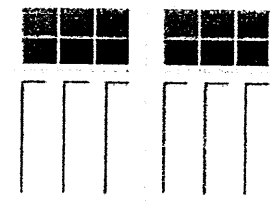
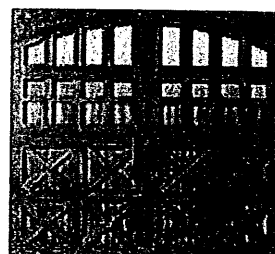
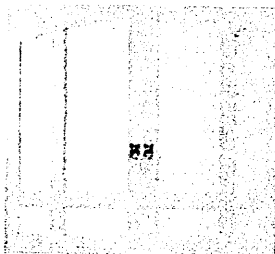
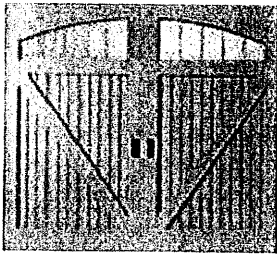
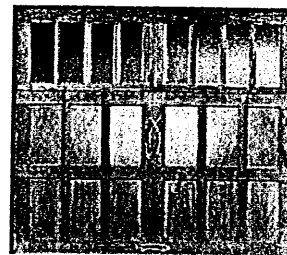
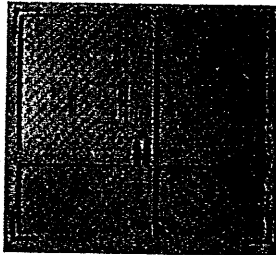
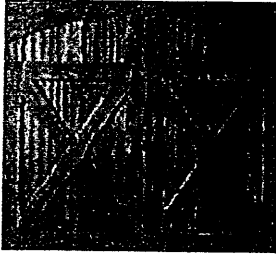
2.10 House Styles

1. House Styles: Acceptable house styles include 1; 1½ and 2 Storey structures. Bi-level models are not conducive to the principles behind the Craftsman aesthetic and therefore are not acceptable.

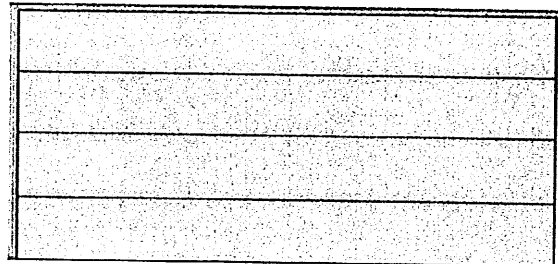
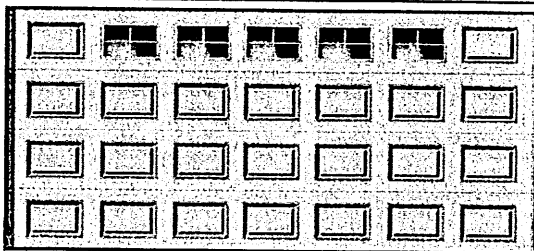
2.11 Garage Doors

1. Garage doors are to be flat panels with applied trim in patterns to reflect Craftsman style proportions. Use "Designer" Series by Creative Door Services or equal. Conventional paneled doors are not acceptable.
2. All houses to have a 2-car garage at minimum.
3. Height between the garage door and eave line should be kept to a minimum. Appropriate detailing is required where height exceeds 18" inches.
4. Garages are to be sited on the lot in conformity with the approved Subdivision Driveway Plan, unless otherwise approved by the Developer.

5. Examples of acceptable door designs:



6. Unacceptable designs:



3.0 ADDITIONAL ITEMS:

3.1 Exterior Rear and Side Elevations

1. Rear elevations of homes backing onto highly visible locations defined as parks, municipal reserves (MR), walkways, ponds or collector roads (including Hope Road and Hemingway Road) must include abundant windows and avoid large flat expanses of wall using build-outs, varied rooflines, decorative louvers/vents, and attention to detail. Trim and Grill detailing applies on the highly visible elevations and must match the front elevation trim work.
2. All high-visibility elevations must include trim, grills & sill details on rear, side windows and doorways.
3. Trim, grills & sill details on rear, side windows and doorways are not required but strongly encouraged for non-visible elevations.
4. Walkout lots backing onto parks & lakes require decks to be built at the same time as the house and completed along with the home.

3.2 Lot Grading

1. Lot grading to be in strict conformance with the approved grading plans. Grade variations should be absorbed within the building mass to minimize steep slopes and contrast between lots. The cost of obtaining proper grade and drainage are the responsibility of the builder and /or purchaser.
2. All survey and staking of the house must be done by the Designated Surveyor to provide consistency in establishing elevations throughout the subdivision.
3. Retaining walls, if required are the responsibility of the builder and/or purchaser property owner and must not compromise the grading design and drainage of the lot. Natural elements such as rock are preferred for construction of retaining structures.

3.3 Landscaping

1. Landscaping to be complete within 9 months of occupancy, weather permitting.
2. To ensure compliance with the landscaping requirements, the Builders will require a landscape deposit of \$1,500.00 from each purchaser to be refunded by the builder upon approval of the landscape and architectural requirements by the designated Architectural Consultant.

3. Front Yard landscaping is to consist of a minimum of one tree: Coniferous tree (spruce or pine) to be a minimum of 6'-0" height or one deciduous tree to be a minimum of 2" inch caliper AND one shrub bed containing a minimum of nine shrubs OR alternatively 2 trees as per the noted size requirements. Trees planted by the Developer for the City, within the City Boulevard do not fulfill the tree requirement as outlined above.
4. Front yards are to be sodded to fence tieback. A minimum of 4" inch depth topsoil is to be used for all sodded areas.
5. CRITICAL: if alternate landscape materials are being installed, it will be considered on an individual basis if it can be demonstrated that the alternate plan meets the objective of these guidelines, to achieve greenery in all front yards within the neighbourhood. The use of hard surface landscaping rather than sod will require the planting of trees and extensive shrubbery, to visually soften the hard surfaces and achieve greenery. (See 4.0 Architectural Approval). A detailed plan to scale identifying plant species and specifications must be submitted to the Architectural Consultant prior to landscape construction.
6. Front sidewalks and driveways, including aprons between the front curb and the sidewalk are to be poured concrete, exposed aggregate, or paving stone equivalent. All sidewalks are to be minimum 30" inches in width.
7. Gravel and asphalt driveways are not permitted.
8. Maximum driveway width can be no larger than the garage face width.
9. Any security deposit taken will not be released until the purchaser has met the requirements of Section 5.0.
10. No storage of recreational vehicles or trucks larger than 3/4 ton are permitted to be parked on the lot and/or driveway.
11. Final Inspection of the above items will be conducted between May 15th – September 30th or first snowfall prior to Sept. 30th.
12. Refer to Section 5.7 for schedule of Final Inspections.

3.4 Fencing

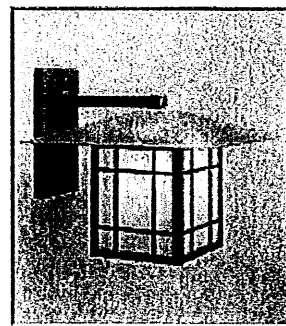
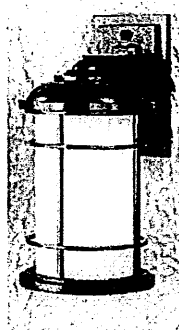
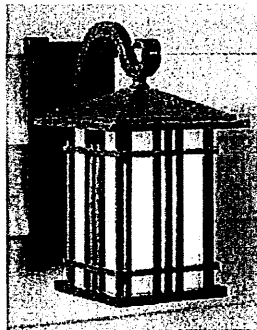
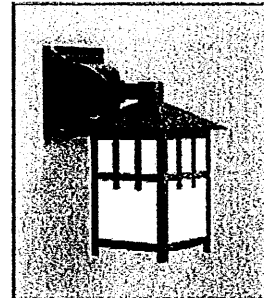
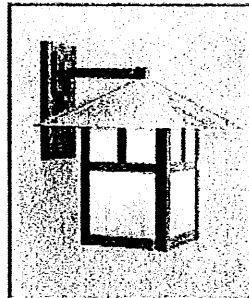
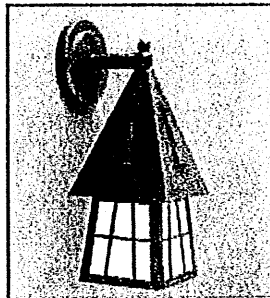
1. Fencing on lots, other than fence provided is the responsibility of the Purchaser to construct. If Purchaser constructs a fence, it shall comply with the design requirements and colour set out in the Restrictive Covenant. Maintenance of all fencing on the lot including fencing constructed by the developer is the responsibility of the Purchaser.

3.5 Exterior Detail Accents:

1. A bronze address plaque in a standardized style specific to Copperwood will be required on every home. The cost to supply and install the plaque will be the responsibility of the builder and/or purchaser.
2. Either exterior lighting must be recessed or a lantern type suitable to accent the design style of the home. The style of all lantern lighting must be craftsman.



See examples below:



4.0 ARCHITECTURAL APPROVAL

To apply for architectural approval the following information must be delivered to the Design Consultant:

1. Digital DWG file format (preferred) or one complete hard-copy set of house construction plans, fully dimensioned, and legible to the scale of: Imperial $3/16" = 1'-0"$ (or) metric 1:75.
 - House Floor Plans
 - Elevations of four sides' minimum showing sizes of windows, doors, heights, etc., showing exterior finishes & to be fully dimensioned, accurately figured, explicit & complete.
 - Building cross-sections.
 - Plot plan complete with final grades prepared by the designated surveyor.
 - Developer approval form, complete with material specification, supplier & colours.
2. If the submission is not complete & delivered, approval will not be given.
3. Modifications to submission required accordingly at builders' expense.
4. An administration fee of a minimum of \$75.00 will be incurred by the Applicant for revisions or change requests subsequent to Final Architectural Approvals. Any changes to approved plans must be submitted, reviewed, and approved in writing prior to implementation.
5. Faxed plans will not be accepted.

5.0 FINAL INSPECTION, RELEASE OF SECURITY

To initiate the Final Inspection, the following must be complete:

1. Construction completed - exterior and site works completed in accordance with these guidelines and as per the house plan approval.
2. Landscaping completed satisfactorily.
3. Copy of rough grade certificate and approved final grade inspection report from the City of Edmonton.
4. Water valve exposed and marked.
5. Sidewalks, streets gutters and curbs in clean condition.



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6. Written request to Design Consultant, to perform the final inspection (must include grading certificate and City Approval of same). A copy of the final inspection report will then be forwarded to the Developer and Builder for appropriate action.
7. Final Inspection of the above items will be conducted between May 15th – September 30th or first snowfall prior to Sept. 30th to ensure compliance with landscape requirements.

2013 (Planned)

Landscaping	<ul style="list-style-type: none"> • Community mowing to supplement City services • Summer service of doggy bags • Add winter service of doggy bags • Perform an inventory of doggy bag stands and look to install new ones • Perform an inventory of garbage cans and look to install new ones • Flower bed weeding and maintenance • Mulch replacement in select areas, develop a 10-year community rotation • Potted flower quantity increased through the community • Annual flowers added to concrete pots at 69 Avenue • Replace concrete barriers at 57 Avenue / 208 Street playground with concrete flower pots • Sod replacement in select areas • Develop RFP for Landscape Architect for additional trees and shrubs in community pathways • Develop new maintenance agreement with the City
Bronze Deer	<ul style="list-style-type: none"> • Maintenance of seven bronze deer, including graffiti removal • Source pricing from international sources to mitigate cost for option to add deer south of 62 Avenue
Benches	<ul style="list-style-type: none"> • Start a staining program • Continue to work with City to repair/replace benches as they get damaged
Common Fence Sections	<ul style="list-style-type: none"> • Start a ten-year program throughout the community to repaint common sections
Stone Entrance Markers	<ul style="list-style-type: none"> • Maintenance of existing markers, including working with insurers when damaged from vehicle impact • Development of plan and design for new entrance markers at pathways and roadways
Fountains	<ul style="list-style-type: none"> • Five fountains north of 62 Avenue • Install three new fountains at 62 Avenue lake • Installation in May and removal in October • Summer maintenance and winter storage • Development of Service Level Agreement • Ordered one additional fountain for lake south of 56 Avenue for 2014 installation • Purchase spare fountains and develop long term replacement plan
Lighting	<ul style="list-style-type: none"> • Replacement of bulbs in stone columns at 58 Avenue / 205 Street • Installed and operated winter lights in trees at Glastonbury Blvd / 69th Avenue, and 56th Avenue / 205 Street • Working with the City and EPCOR, add power connections and increase winter lights locations • Develop design for lighted light pole markers
Communication	<ul style="list-style-type: none"> • Regular website updates • Meeting with City to discuss boardwalk replacement plan and landscaping plans • Coordinate with neighbouring Grange, Copperwood and Hamptons Residents Associations • Increase communication about Residents Associations with Real Estate Board • Updated initiatives survey to be distributed at AGM • Advertise in the Glastonbury Gazette
Management	<ul style="list-style-type: none"> • Set up Website for Paypal payment of fees • Ensured PNRA land achieved tax exempt status • Fall AGM • Architectural Guidelines Control